



State of Utah

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GARY R. HERBERT
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Department of Administrative Services

KIMBERLY HOOD
Executive Director

Division of Facilities Construction and Management

F. KEITH STEPAN
Director

ADDENDUM

Date: 02-15-2007
To: Contractors
From: **Jeff Reddoor Project Manager**

**Southern Utah University
Digital Photo Lab Remodel**

DFCM Project No. **06126730**

Subject: **Addendum No.1**

Pages:	Addendum Cover Page	1 Page
	Architects Clarifications and Drawing	8 Pages
	Total	9 Pages

Note: This Addendum shall be included as part of the Contract Documents. Items in this Addendum apply to all drawings and specification sections whether referenced or not involving the portion of the work added, deleted, modified, or otherwise addressed in the Addendum. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

SCHEDULE HAS NOT BEEN CHANGED

1.1 Architect added Drawing and Clarifications.

End of Addendum



addendum 1

DATE: February 15, 2007

DFCM Project No.: 06126730

Archiplex Group Project No.: 0620.01

ADDENDUM NO. 1 to the Contract Documents for the Construction of the Digital Photo Lab Remodel – SUU , Cedar City, Utah

The contents of this addendum supersede the information contained in the original Contract Documents and are hereby incorporated therein. Unless otherwise so stated, any changes herein offset only the specific drawings, words, or paragraphs mentioned, and the balance of the drawings and specifications remain in full force.

A. ADDENDUM ITEMS:

1. Architectural Addendum Items:

Sheet AD101:

- a. Carpet to be removed in existing offices: 109, 110, & 111.
- b. Added Keynote regarding removing another existing meter and capping lines..

Sheet AE100:

- a. Added exiting plan for information only per DFCM code official.

Sheet AE101:

- a. Selected window and door #'s have changed to 200 series.

Sheet AE121:

- b. Direction of new exit signs have been changed.

Sheet AE601:

- a. Label numbers have been adjusted on the window details and window schedule. Labels in door schedule has been switched so that the detail number comes before the drawing number.
- b. Hardware lockset has been added to door schedule for door #D203-A.



- c. Description 1 in wall descriptions has been changed to read: Paint to match quality and appearance of adjoining smooth walls to create seamless appearance.
- d. Remark added to schedule for door #D202-A concerning reinforcement of new door header.

2. Electrical Addendum items:

Sheet EP102

- a. Provide a Horn/ Strobe on wall in reception area.

GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
2. DO NOT SCALE DRAWINGS.
3. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
4. DASHED LINES REPRESENT WALLS AND DOORS TO BE REMOVED.
5. ALL DIMENSIONS ARE TO FACE OF WALL, UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES FROM DAMAGE DURING DEMOLITION AND REPAIR OR REPLACE ANY MATERIAL THAT IS DAMAGED.
7. CONTRACTOR SHALL VERIFY LOCATION OF ALL DUCTWORK, WATERLINES, GAS LINES, & OTHER UTILITIES SERVING THE EXISTING BUILDING & KEEP THEM IN WORKING ORDER.
8. COVER RETURN AIR OPENINGS BEFORE AND DURING CONSTRUCTION.
9. PREPARE ALL WALLS AFFECTED BY DEMOLITION TO RECEIVE NEW FINISHES.

DEMOLITION FLOOR PLAN KEYNOTES

QP-01	SAVE AND REUSE DOOR & FRAME (SEE DOOR SCHEDULE FOR PLACEMENT)
QP-02	ALTERNATE #1: DEMOLISH C.M.U. WALL AS REQ'D TO ACCOMMODATE NEW WINDOW. CORD. OPENING SIZE W/ STOREFRONT MULLION SPACING. RE: AEO1
QP-03	REMOVE AND SALVAGE EXISTING CARPET, PREP FLOOR AS REQUIRED TO RECEIVE NEW FINISH.
QP-04	EXISTING ELECTRICAL PANEL TO REMAIN
QP-05	REMOVE AND DISCARD INTERIOR DOORS, HARDWARE, AND FRAMES - WILL BE PICKED UP BY SUU LOCKSHOP
QP-06	REMOVE AND DISCARD EXISTING CEILING ABOVE, DISCARD ALL LIGHTING
QP-07	REMOVE METER & CAP LINES
QP-08	C.M.U. WALL
QP-09	PREPARE CEILING AND WALL AS NEEDED TO TERMINATE NEW COMMUNICATION CONDUITS IN THIS AREA.
QP-10	SAWCUT BLOCK TO ENLARGE OPENING FOR NEW 3'-0" DOOR

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DESIGNER

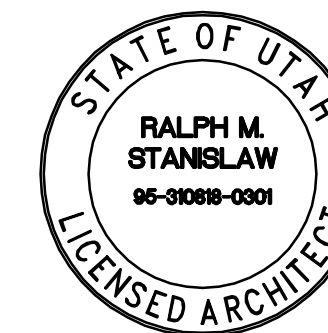
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	02-15-07	ADDENDUM #1
MARK	DATE	DESCRIPTION

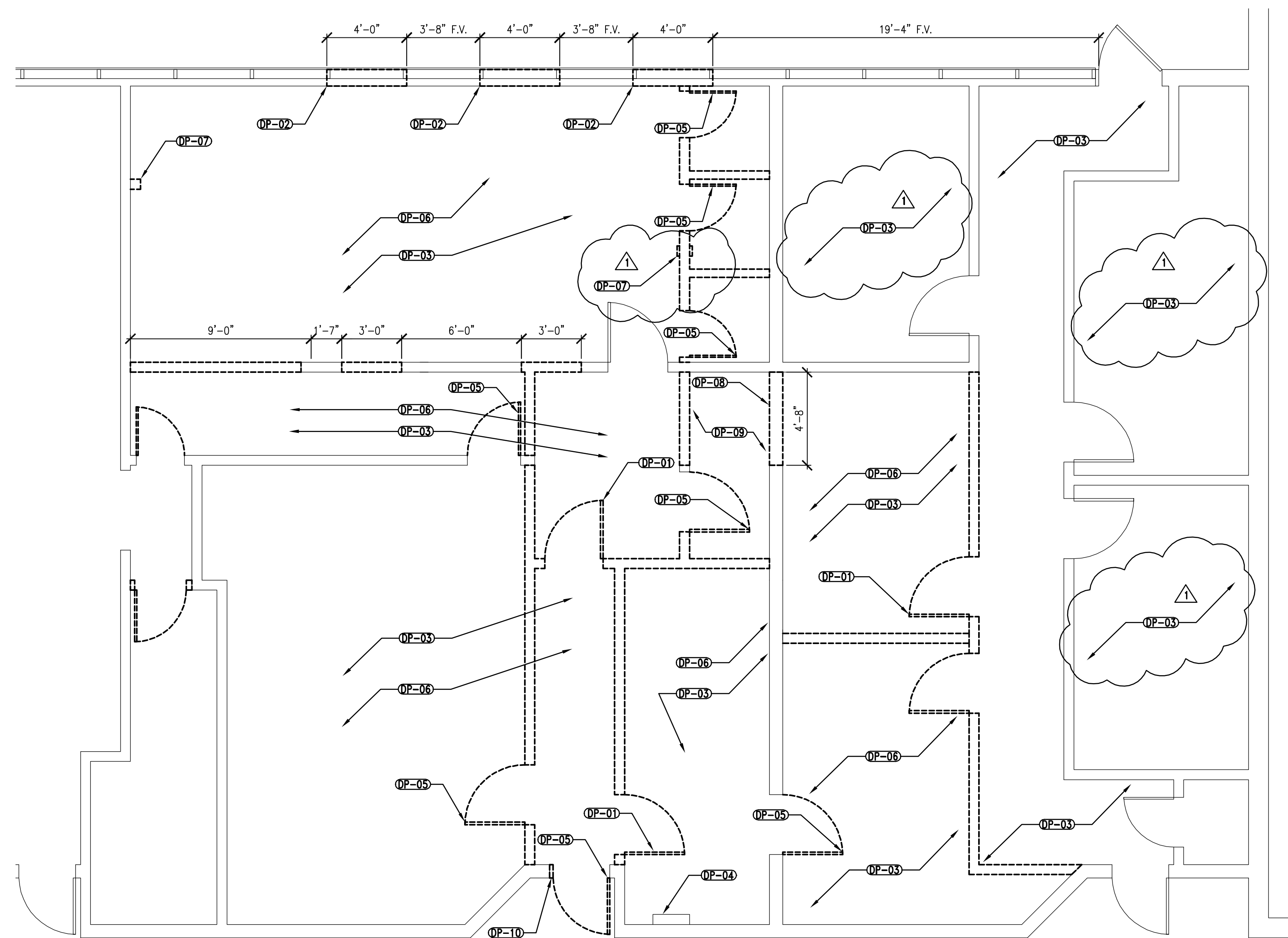
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ARCHIPLEX PROJECT NO:	0620
DRAWN BY:	E. RUSTEN
CHECKED BY:	R. STANISLA
SCALE:	1/4" = 1' - 0"
DATE:	OCTOBER 27, 200

KEY PLAN

SHEET TITLE

DEMOLITION PLAN

AD101

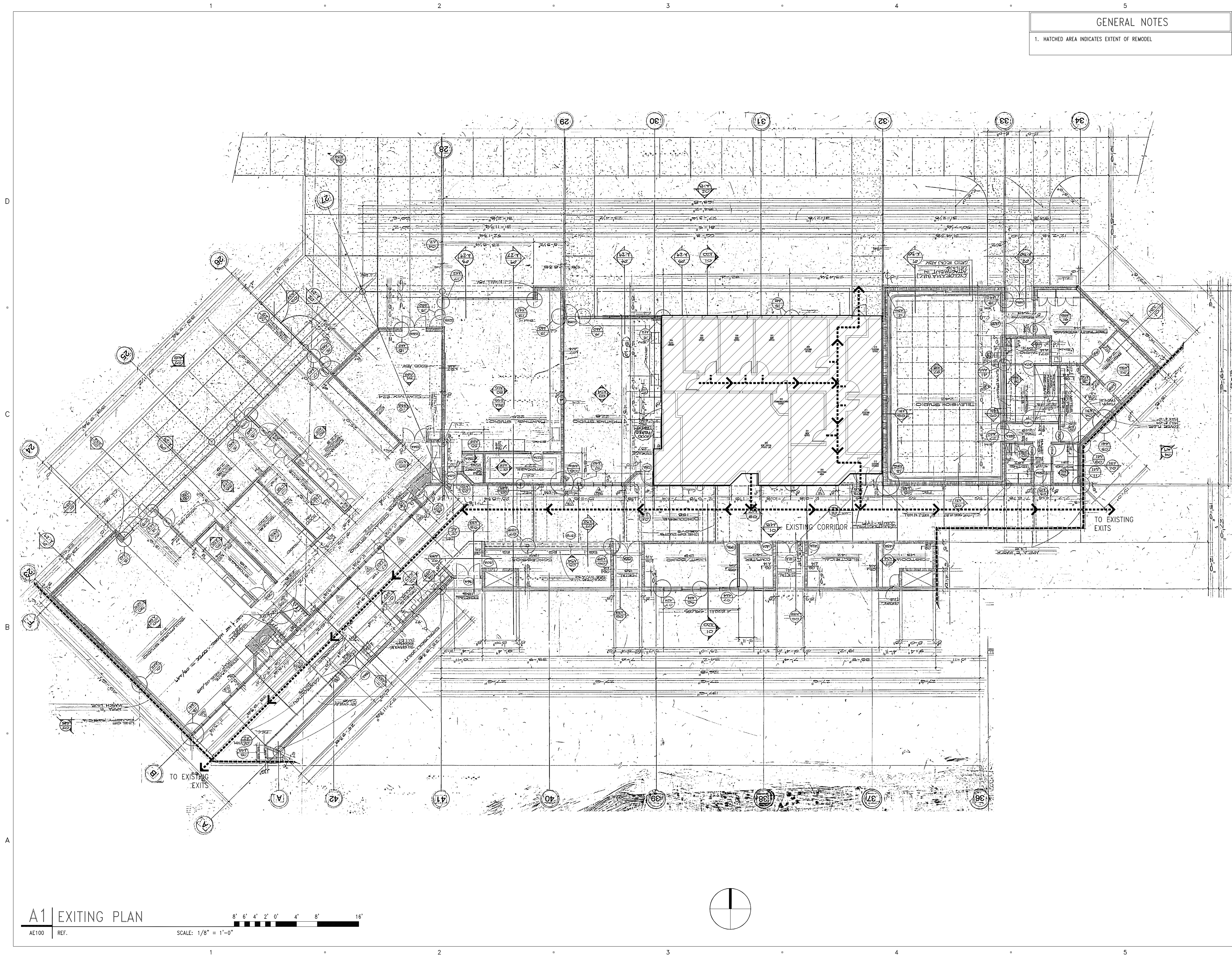


A1 | DEMOLITION FLOOR PLAN

AD101

REF.

SCALE: NTS



GENERAL NOTES

1. HATCHED AREA INDICATES EXTENT OF REMODEL

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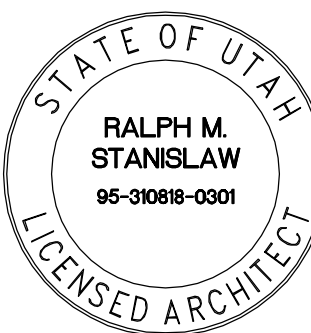
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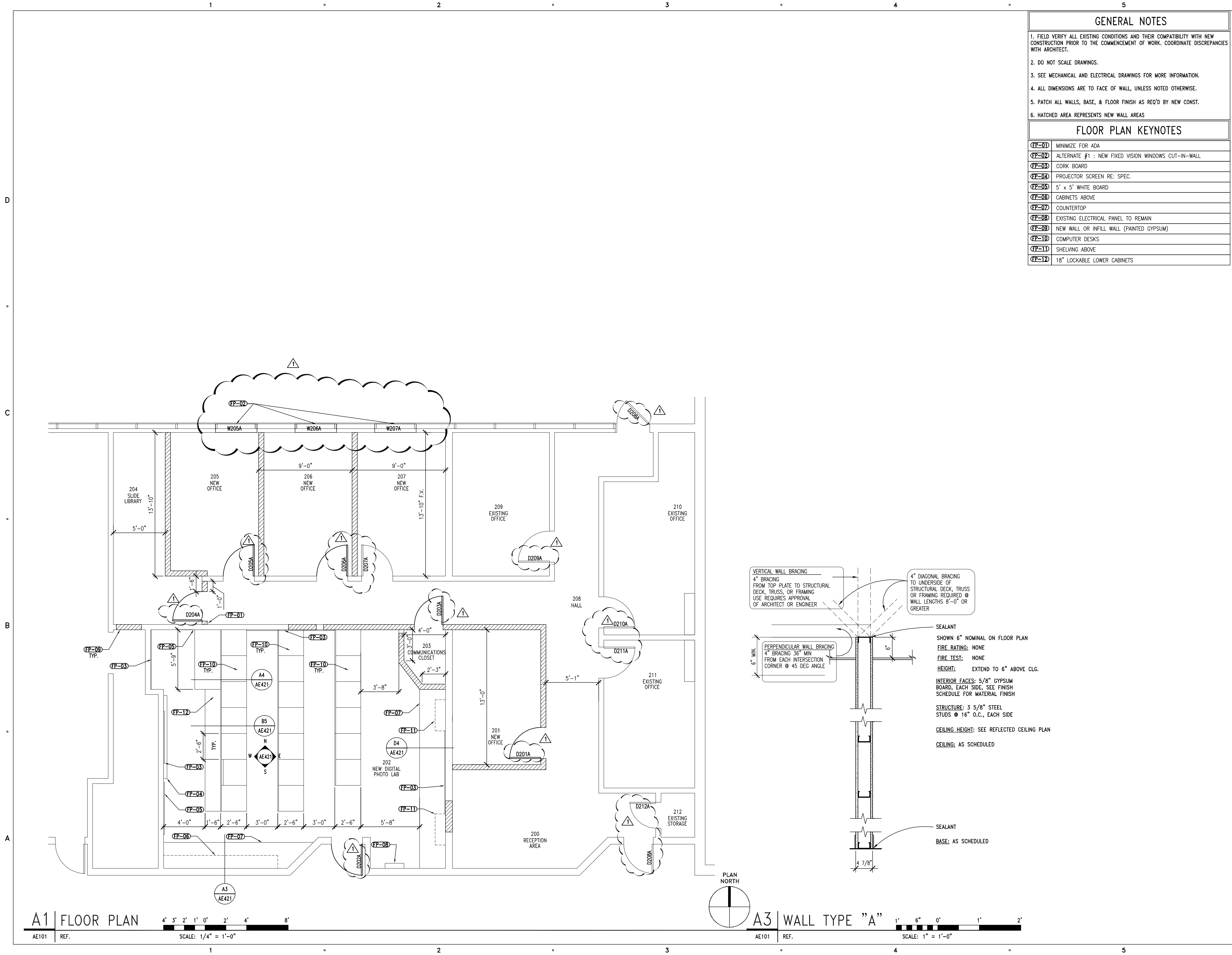
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ARCHIPLEX PROJECT NO:	0620.01
DRAWN BY:	E. RUSTEN
CHECKED BY:	R. STANISLAW
SCALE:	AS SHOWN
DATE:	OCTOBER 27, 2006

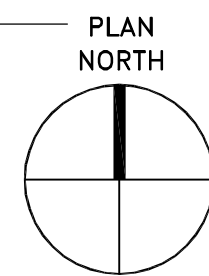
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SHEET TITLE

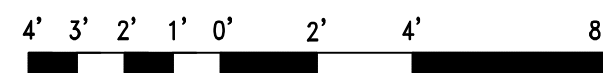
EXITING
PLAN

AE100





SCALE: 1/4" = 1'-0"



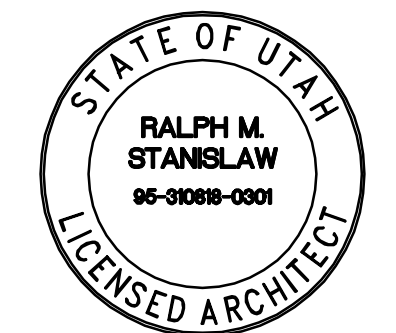
AE121


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	02-15-07	ADDENDUM #1
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SCALE:	AS SHOWN
DATE:	OCTOBER 27, 2006

SHEET TITLE

REFLECTED CEILING PLAN AND DETAILS

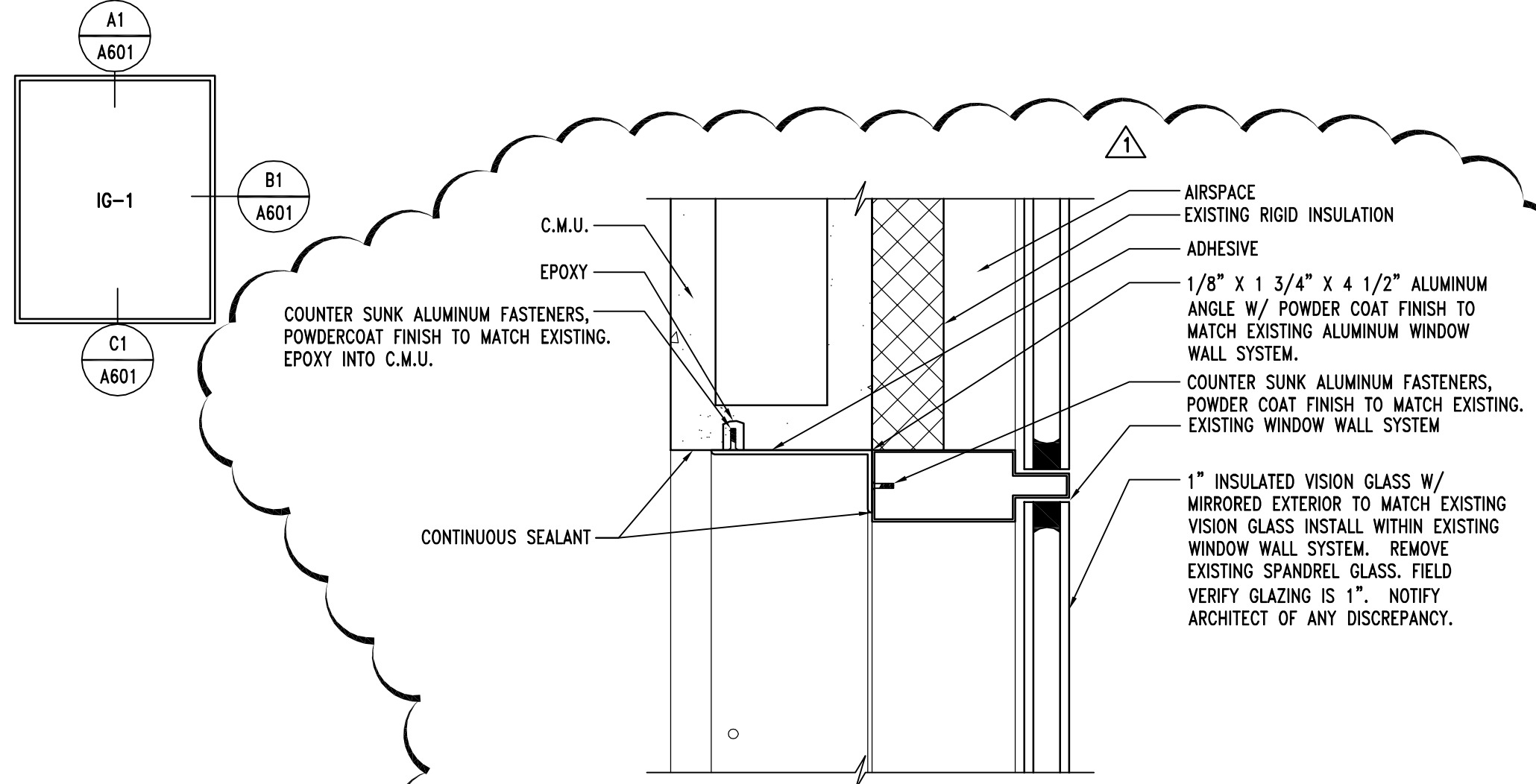
AE121

ALTERNATE # 1 WINDOW SCHEDULE															
WINDOW NUMBER	ROOM NUMBER	WINDOW						FRAMES			DETAILS			REMARKS	
		TYPE	WIDTH*	HEIGHT*	MATERIAL	FINISH	GLASS	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL		
W205A	205	A	4'-0"	4'-0"	-	-	-	EXST.	EXST.	EXST.	C1/AE601	B1/AE601	A1/AE601	-	REPLACE EXISTING SPANDREL WITH NEW VISION GLASS
W206A	206	A	4'-0"	4'-0"	-	-	-	EXST.	EXST.	EXST.	C1/AE601	B1/AE601	A1/AE601	-	REPLACE EXISTING SPANDREL WITH NEW VISION GLASS
W207A	207	A	4'-0"	4'-0"	-	-	-	EXST.	EXST.	EXST.	C1/AE601	B1/AE601	A1/AE601	-	REPLACE EXISTING SPANDREL WITH NEW VISION GLASS

ABBREVIATIONS
WD WOOD
HM HOLLOW METAL
* COORDINATE WINDOW SIZE WITH EXISTING WINDOW WALL SYSTEM

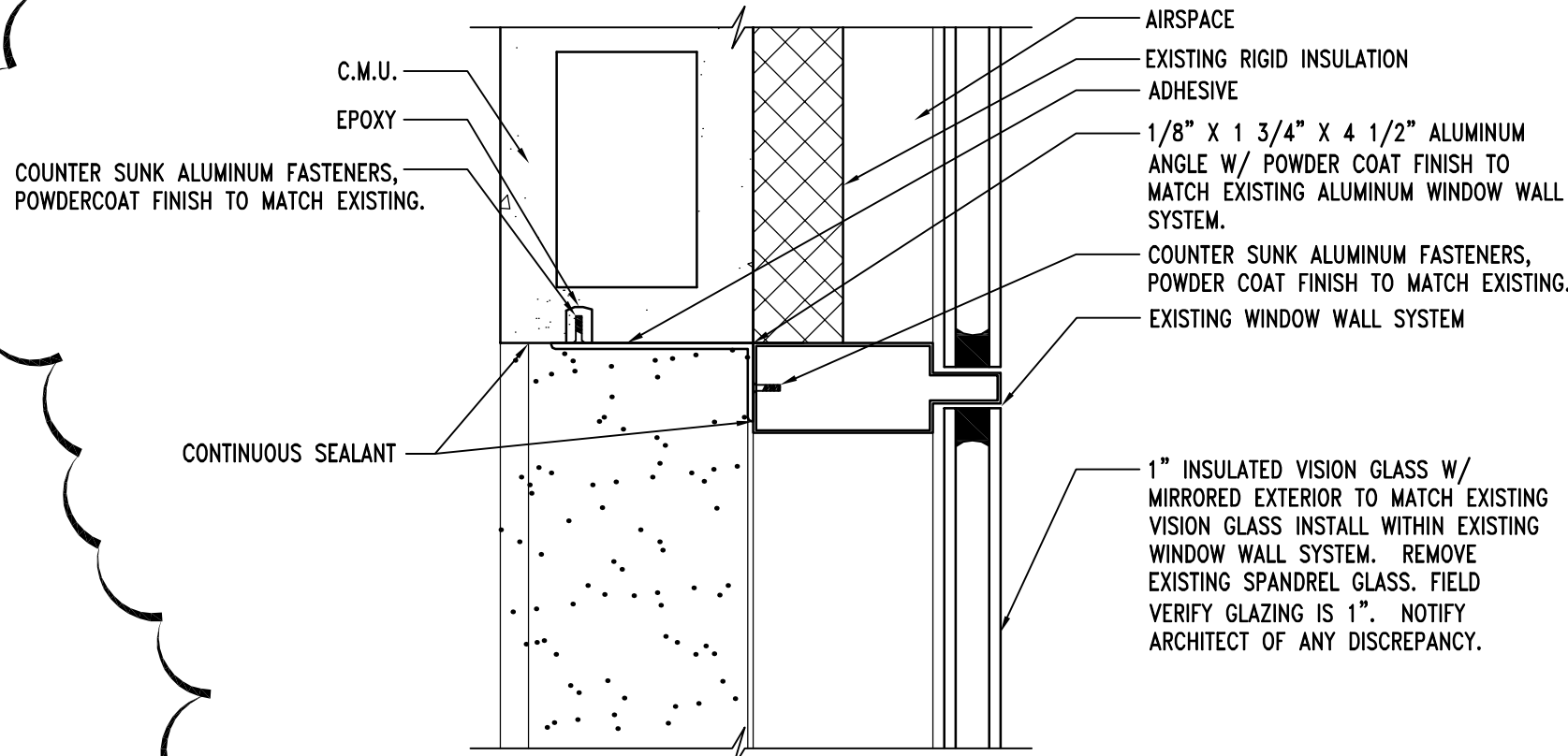
IG-1: GLAZING TO MATCH EXISTING IN ROOM 209.
REFER TO SPEC. FOR ADDITIONAL INFORMATION.

WINDOW AND FRAME "A"



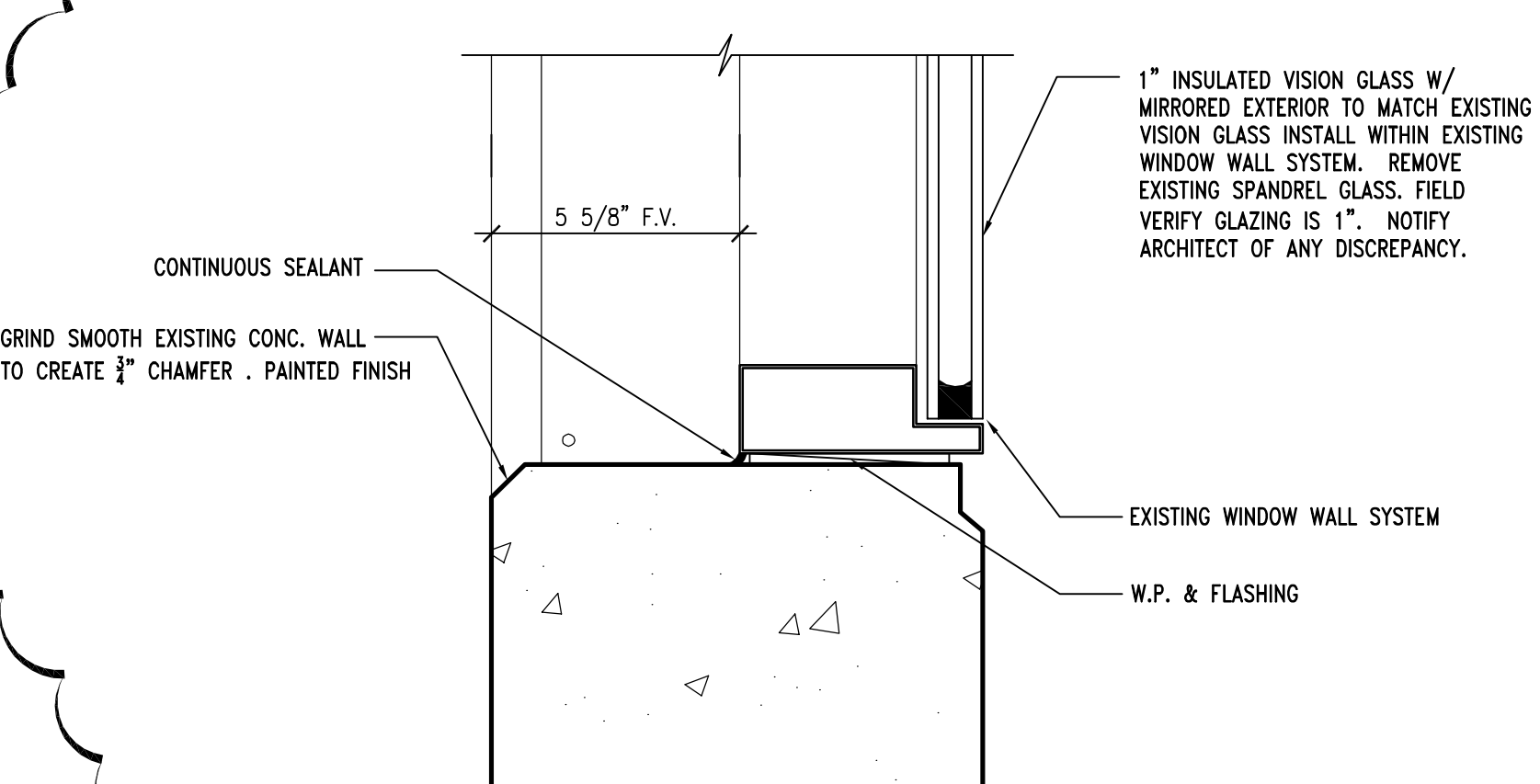
C1 WINDOW HEAD DETAIL

AE601 REF. SCALE: 3" = 1'-0"



B1 WINDOW JAMB DETAIL

AE601 REF. SCALE: 3" = 1'-0"



A1 WINDOW SILL DETAIL

AE601 REF. SCALE: 3" = 1'-0"

ROOM FINISH SCHEDULE

RM #	ROOM NAME	FLOOR	BASE	WALLS				DOORS			NOTES
				NORTH	SOUTH	EAST	WEST	DOOR	FRAME	CEILING	
200	RECEPTION AREA	1	1	1	1	1	1	3	2	1, 2	
201	OFFICE	1	1	1	1	1	1	1	1	1	
202	DIGITAL PHOTO LAB	1	1	1	1	1	1	3	2	1	
203	CLOSET	2	1	1	1	1	1	1	2	3	
204	SLIDE LIBRARY	1	1	1	1	1	1	3	2	1	
205	OFFICE	1	1	1	1	1	1	1	1	1	
206	OFFICE	1	1	1	1	1	1	1	1	1	
207	OFFICE	1	1	1	1	1	1	3	2	1	
208	CORRIDOR	1	1	1	1	1	1	3	2	1	
209	OFFICE	1	1	1	1	1	1	3	2	2	
210	OFFICE	1	1	1	1	1	1	3	2	2	
211	OFFICE	1	1	1	1	1	1	3	2	2	
212	STORAGE	2	2	1	1	1	1	3	2	2	

ROOM FINISH LEGEND

FLOOR	BASE	WALLS	DOOR & FRAMES	CEILINGS
1. CARPET - CHOC. CRAVING CARPET TILE 2. SEALED CONCRETE	1. 4" CARPET COVE BASE 2. NONE	1. GYPSUM BOARD - PAINT TO MATCH QUALITY AND APPEARANCE OF ADJOINING SMOOTH WALLS TO CREATE SEAMLESS APPEARANCE.	1. REFINISH REUSED DOORS AND FRAMES TO MATCH 2. STEEL - PAINTED 3. WOOD	1. NEW A/C TILE AND GRID 2. EXISTING - NEW PAINT 3. OPEN TO STRUCTURE

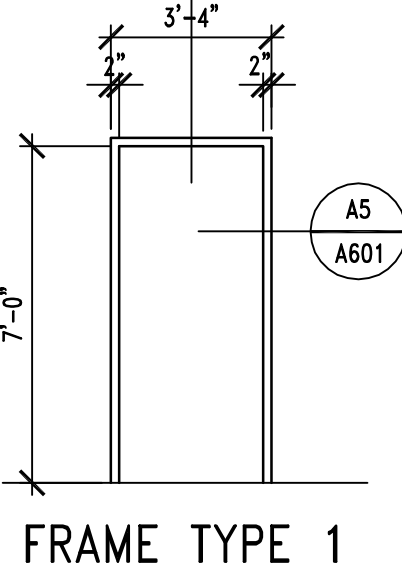
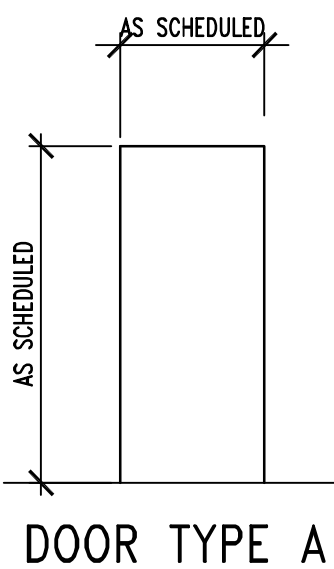
DOOR SCHEDULE

DOOR NUMBER	ROOM NUMBER	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	GLASS	TYPE	MATERIAL	FINISH	HEAD	JAMB	THRESHOLD	LABEL (MINUTES)	HARDWARE SET	REMARKS
D201A	201	A	3'-0"	7'-0"	WD	STAIN	-	1	HM	PT	B5/AE601	A5/AE601	-	-	1	NEW DOOR AND FRAME TO REPLACE SMALLER EXISTING DOOR
D202A	202	A	3'-0"	7'-0"	WD	STAIN	-	1	HM	PT	B5/AE601	A5/AE601	-	-	1	NEW DOOR FRAME HEADER TO BE REINFORCED AS NEEDED.
D203A	203	A	3'-0"	7'-0"	WD	STAIN	-	1	HM	PT	B5/AE601	A5/AE601	-	-	1	
D204A	204	A	3'-0"	7'-0"	WD	STAIN	-	1	HM	PT	B5/AE601	A5/AE601	-	-	1	
D205A	205	A	3'-0"	7'-0"	WD	STAIN	-	1	HM	PT	B5/AE601	A5/AE601	-	-	1	RE-USE EXISTING DOOR FROM DEMOLITION
D206A	206	A	3'-0"	7'-0"	WD	STAIN	-	1	HM	PT	B5/AE601	A5/AE601	-	-	1	RE-USE EXISTING DOOR FROM DEMOLITION
D207A	207	EXST.	EXST.	EXST.	EXST.	STAIN	-	EXST.	EXST.	PT	EXST.	EXST.	-	-	-	REFINISHED EXISTING DOOR & PNT. FRAME
D208A	208	EXST.	EXST.	EXST.	EXST.	PT	-	EXST.	EXST.	PT	EXST.	EXST.	-	-	-	REFINISHED EXISTING DOOR & PNT. FRAME
D208B	208	EXST.	EXST.	EXST.	EXST.	STAIN	-	EXST.	EXST.	PT	EXST.	EXST.	-	-	-	REFINISHED EXISTING DOOR & PNT. FRAME
D209A	209	EXST.	EXST.	EXST.	EXST.	STAIN	-	EXST.	EXST.	PT	EXST.	EXST.	-	-	-	REFINISHED EXISTING DOOR & PNT. FRAME
D210A	210	EXST.	EXST.	EXST.	EXST.	STAIN	-	EXST.	EXST.	PT	EXST.	EXST.	-	-	-	REFINISHED EXISTING DOOR & PNT. FRAME
D211A	211	EXST.	EXST.	EXST.	EXST.	STAIN	-	EXST.	EXST.	PT	EXST.	EXST.	-	-	-	REFINISHED EXISTING DOOR & PNT. FRAME
D212A	212	EXST.	EXST.	EXST.	EXST.	STAIN	-	EXST.	EXST.	PT	EXST.	EXST.	-	-	-	REFINISHED EXISTING DOOR & PNT. FRAME

HARDWARE SET 1
3Ea. Hinge TA2714 4.5 x 4.5 260 McKinley
1Ea. Wall Stop 409 32D Rockwood
1Ea. Lock Set Guard ND Schlage Vanda
3Ea. Silencer SR 64/SR 65 Grey Ives

HARDWARE SET 2
3Ea. Hinge TA2714 4.5 x 4.5 260 McKinley
1Ea. Wall Stop 409 32D Rockwood
1Ea. Storage Room Lock Set Schlage
3Ea. Silencer SR 64/SR 65 Grey Ives
1Ea. Closer LCN 4041

ABBREVIATIONS
WD WOOD
HM HOLLOW METAL



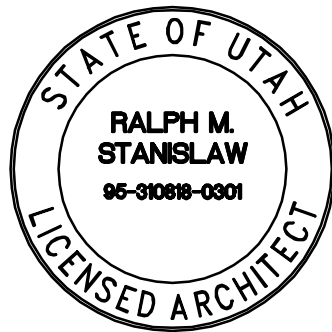
GENERAL NOTES
1. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
2. DO NOT SCALE DRAWINGS.
3. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.

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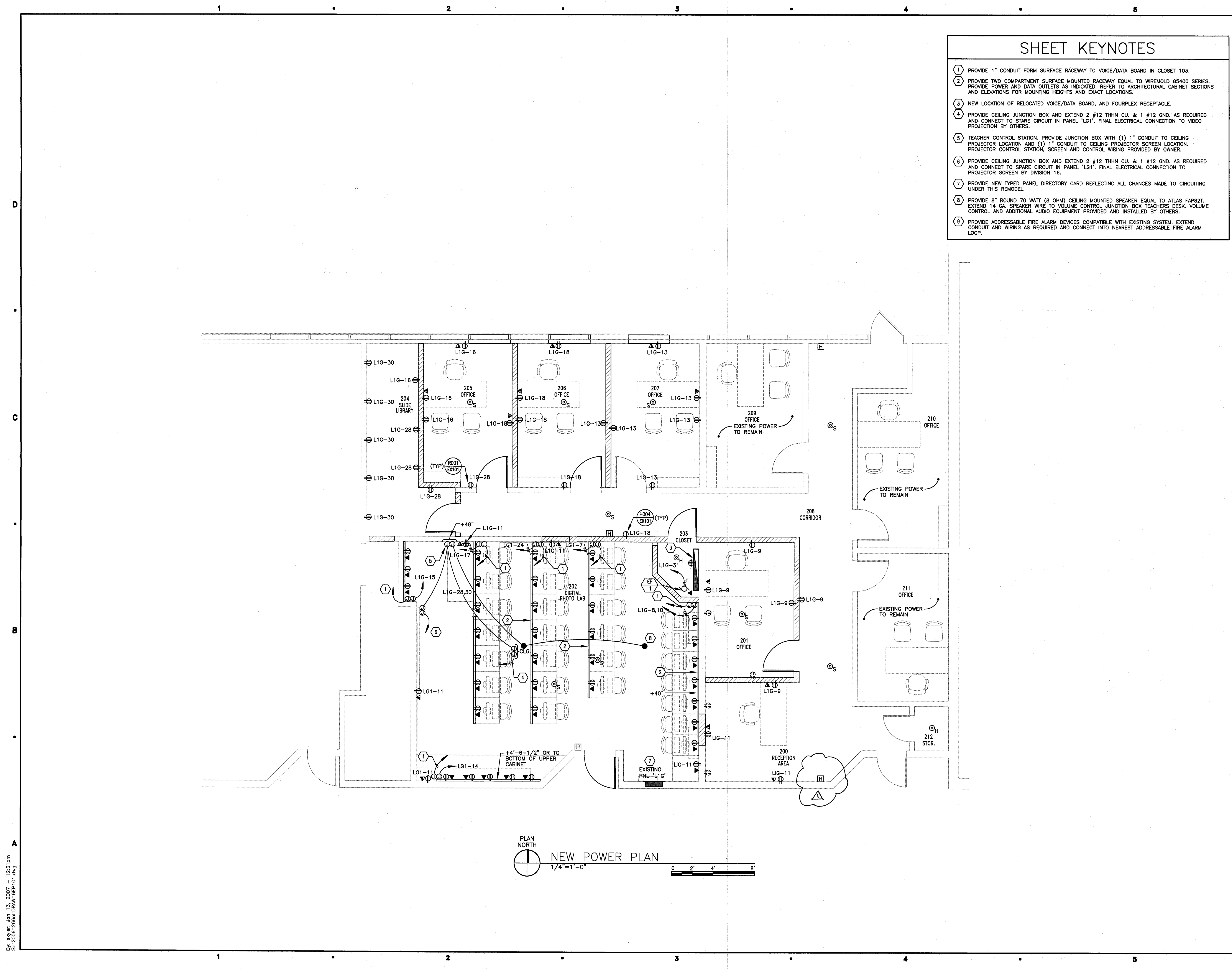
ISSUE		

DFCM CONTRACT NO:	077004
DFCM PROJECT NO:	06126730
ARCHIPLEX PROJECT NO:	0620.01
DRAWN BY:	E. RUSTEN
CHECKED BY:	R. STANISLAW
SCALE:	AS SHOWN
DATE:	OCTOBER 27, 2006
KEY PLAN	

SHEET TITLE

DOOR AND WINDOW SCHEDULES AND DETAILS

AE601



- SHEET KEYNOTES
- 1

PROVIDE 1" CONDUIT FORM SURFACE RACEWAY TO VOICE/DATA BOARD IN CLOSET 103.
- 2

PROVIDE TWO COMPARTMENT SURFACE MOUNTED RACEWAY EQUAL TO WIREMOLD G5400 SERIES. PROVIDE POWER AND DATA OUTLETS AS INDICATED. REFER TO ARCHITECTURAL CABINET SECTIONS AND ELEVATIONS FOR MOUNTING HEIGHTS AND EXACT LOCATIONS.
- 3

NEW LOCATION OF RELOCATED VOICE/DATA BOARD, AND FOURPLEX RECEPTACLE.
- 4

PROVIDE CEILING JUNCTION BOX AND EXTEND 2 #12 THHN CU. & 1 #12 GND. AS REQUIRED AND CONNECT TO STARE CIRCUIT IN PANEL 'LG1'. FINAL ELECTRICAL CONNECTION TO VIDEO PROJECTION BY OTHERS.
- 5

TEACHER CONTROL STATION. PROVIDE JUNCTION BOX WITH (1) 1" CONDUIT TO CEILING PROJECTOR LOCATION AND (1) 1" CONDUIT TO CEILING PROJECTOR SCREEN LOCATION. PROJECTOR CONTROL STATION, SCREEN AND CONTROL WIRING PROVIDED BY OWNER.
- 6

PROVIDE CEILING JUNCTION BOX AND EXTEND 2 #12 THHN CU. & 1 #12 GND. AS REQUIRED AND CONNECT TO SPARE CIRCUIT IN PANEL 'LG1'. FINAL ELECTRICAL CONNECTION TO PROJECTOR SCREEN BY DIVISION 16.
- 7

PROVIDE NEW TYPED PANEL DIRECTORY CARD REFLECTING ALL CHANGES MADE TO CIRCUITING UNDER THIS REMODEL.
- 8

PROVIDE 8" ROUND 70 WATT (8 OHM) CEILING MOUNTED SPEAKER EQUAL TO ATLAS FAP82T. EXTEND 14 GA. SPEAKER WIRE TO VOLUME CONTROL JUNCTION BOX TEACHERS DESK. VOLUME CONTROL AND ADDITIONAL AUDIO EQUIPMENT PROVIDED AND INSTALLED BY OTHERS.
- 9

PROVIDE ADDRESSABLE FIRE ALARM DEVICES COMPATIBLE WITH EXISTING SYSTEM. EXTEND CONDUIT AND WIRING AS REQUIRED AND CONNECT INTO NEAREST ADDRESSABLE FIRE ALARM LOOP.

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1-13-07
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ISSUE

MARK	DATE	DESCRIPTION
Δ	02/15/07	ADDENDUM #1

DFCM CONTRACT NO: 077005
DFCM PROJECT NO: 06126730
BNA PROJECT NO: 06266SG.01
DRAWN BY:
CHECKED BY:
SCALE: AS NOTED
DATE: JANUARY 13, 2007
KEY PLAN

SHEET TITLE

NEW POWER PLAN

EP102

By: slyler, Jan 13, 2007 - 12:33 pm
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